

REGULARIZED UNAUTHORIZED COLONY CERTIFICATE
PROVISIONAL CERTIFICATE

From

Competent Authority,
Cum-Deputy Director,
Local Government, Patiala.

To

Sh. Jujhar Singh, Sh. Gurcharan Singh,
Sh. Pritpal Singh, Sh. Karamjit Singh SS/o Sh. Mahinder Singh,
Smt. Rozi Saini Sh. Jujhar Singh,
Smt. Kuldeep Kaur W/o Sh. Gurcharan Singh,
Smt. Jaswinder Kaur W/o Sh. Pritpal Singh,
Smt. Jatinder Kaur W/o Late Sh. Paramjit Singh,
Smt. Ajinderpal Kaur W/o Sh. Karamjit Singh,
R o =2626, Ward No. 12, Near Dushera Ground,
Kharar. Distt. SAS Nagar.

No.ATP-DDI.G-19/

Date

With reference to your offline application no. 70 dated 16.04.2019 for the Provisional Regularization of the colony, particular of which are given below is hereby issued the provisional regularization certificate under section 4 of "The Punjab Laws (special provision) Act 2014" vide notification no.12/01/2017-5HG2/1806 of Dated 18/10/2018.

1.	Name of the Promoter(s)/ Individual(s).company, Firm	Sh. Jujhar Singh, Sh. Gurcharan Singh, Sh. Pritpal Singh, Sh. Karamjit Singh SS/o Sh. Mahinder Singh, Smt. Rozi Saini Sh. Jujhar Singh, Smt. Kuldeep Kaur W/o Sh. Gurcharan Singh, Smt. Jaswinder Kaur W/o Sh. Pritpal Singh, Smt. Jatinder Kaur W/o Late Sh. Paramjit Singh, Smt. Ajinderpal Kaur W/o Sh. Karamjit Singh, R/o #2626, Ward No. 12, Near Dushera Ground, Kharar, Distt. SAS Nagar.
2.	Fathers Name (in Case of individuals)	-
3.	Name of Colony(if any)	Hira Enclave
4.	Location (village With H.B.no.)	Ram Bagh Road, Kharar, H.B.no.184
5.	Total area of colony in Square yards (Acre)	5759.20 (1.19 Acres)
6.	Total Salable Area in Square Yards (Acre)	3782.01 (0.78 Acres)
7.	Area under common purpose Square Yards (Acre)	1977.17 (0.41 Acres)
8.	Sold Area Square Yards (Acre)	1405.85 (0.29 Acres)
9.	Saleable area still with the promoter Square Yards (Acre)	2376.16 (0.49 Acres)
10.	No. of plots saleable as per layout plan	31 Residential Plots
11.	Khasra Nos.	as per Annexure-A
12.	Type of colony(Resi/Comm/Ind)	Residential
13.	Year of establishment of colony	Before 31.03.2013

14.	Detail of Plot Sold	as per Annexure-B
Detail of land sold through sale deed/Agreement to sell by the promoter. As per Annexure B attached.		
15.	Saleable area with % age a) No. of saleable Resi. plots b) No. of commercial plots	3782.01 Sq. Yards - 65.67% 31 - (3782.01 Sq. Yards)-65.67% -
16.	Area under Public purpose with % age	1977.17 Sq. Yards - 34.33%
17.	Public facilities provides in the colony. if any a) Parks/open spaces. b) Water Works c) STP	345.43 Sq. Yards (5.99%) 100.76 Sq. Yards (1.74%) 150.43 Sq. Yards (2.61%)
18.	Area under roads with % age	1380.55 Sq. Yards (23.99%)
19.	width of approach road	30' (after road widening)
20.	width of internal road (maintain range of width i.e. 30' etc)	30'
21.	Mode of payment received	Fully Paid
22.	Demand Draft/Cash/MC Receipt	210236 dated 30.09.2013 210472 dated 30.01.2014 G-8 No. 33/1147 dated 18.01.19 G-8 No. 10/1242 dated 14.03.19
23.	Fees/charges received	Rs.58,300/- Rs.1,26,000/- Rs.2,85,600/- Rs.24,500/- Total Rs.4,94,400/-
24.	In case of payment by	
25.	Name of Drawer Bank	Union Bank of India, State Bank of India

D.A/Approved layout

Total Fees

Residential Fees 5929 x 4166 x 2% = Rs. 4,94,005/-
25% fees = Rs. 1,23,502/-
Amount Paid = Rs. 4,94,400/-
Balance Payable Rs. Nil

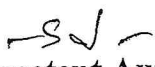
Payment Schedule of remaining amount

Sr. No	Installments	Amount	Interest 12 % Per Annum	Total Amount
1	1 st Installment Within 180 Days From the date of Approval	-	-	-
2	2 nd Installment Within 360 Days From the date of Approval	-	-	-
3	3 rd Instilment With in 540 Days From the date of Approval	-	-	-
	Total	-	-	-

Note:

- 1) No separate notice shall be issued for the payment of installments.
- 2) EO. MC, Kharar vide his report Rs.310100/- (G-8 No. 33/1147 dated 18.01.19 Rs.285600/- & G-8 No. 10/1242 dated 14.03.19 Rs.24500/-) and vide Demand Draft No. 210236 dated 30.09.2013 Rs.58300/- and 210472 dated 30.01.2014 Rs.1,26,000/- (Total Amount Rs.4,94,400/-) had informed to this office that 100% of Composition Fees had been deposited by the colonizer. Consequent of miscalculation if any additional amount is worked

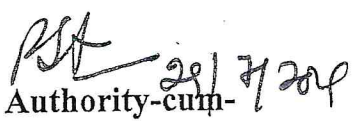
- out as recoverable at any stage applicant shall be liable to pay the same within 15 days from the issue of demand notice deposit the same.
- 3) If any of the conditions of the policy of the government found violated the Regularization Certificate granted shall liable to be cancelled.
 - 4) This Regularization Certificate is granted subject to the decision C.W.P. no. 4018 of 2012 (Gurdeep kaur vs state of punjab & others) pending in the Hon'ble High Court.
 - 5) That if subsequently any defect is found in ownership. Any other documents or any encroachment will found, owner/developer shall be liable for the same.
 - 6) This provisional certificate for regularization is valid for one year from the date of issue of this certificate. The colonizer is bound to be paid full and final payment as well as the colonizer is bound to submit registered sale deeds of these sale agreements/power of attorney within one year from the date issuance of this provisional regularization certificate.
 - 7) Condition for regularization of colony, (i) The area under roads, open spaces, parks and other utilities shall be transferred in the name of the Residents Welfare Association of the colony, if there is no registered Residents Welfare Association then the area under roads, open spaces, parks and other utilities shall be transferred in the name of the concerned urban development/local authority as the case may be which will ultimately be transferred to the name of residents Welfare Association when formed. The maintainance of these areas shall be the responsibility of the Residents welfare Association or developer till the time Residents Welfare Association come in operation.
(ii) The concerned urban development authority/urban local body/gram panchayat shall not be responsible to maintain common areas.
 - 8) The colonies which will be regularized under this policy shall have to get them self registered under the Real Estate (Regulation and Development) Act. 2016 (Central Act of 2016) with the Real Estate Regulatory Authority, if applicable.
 - 9) The Building Plan of the Colony will be sanctioned by the MC, Kharar as per Building Bye-Laws.
 - 10) Pursuant to regularization, the colony may be classified as a 'Regularized Unauthorized Colony'. In no case will such colony be called a Punjab Urban Planning and Development Authority approved colony.
- This certificate is issued on the basis of the documents produce by the applicant. In case the information provided by the applicant is found false/ incorrect at any stage, the compounding of the offence shall stand withdrawn penal action against the applicant shall be initiated.


**Competent Authority-cum-
Deputy Director,
Local Government, Patiala.**

Endst. No. ATP-DDLG-19/ 166

Date 29/07/2019

A copy of the above is forwarded to the Executive officer, Municipal Council, Kharar with the direction a seperate account shall be maintained for each colony and the funds collected by regularization of colonies/plots/buildings falling in that colony will be utilized for providing basic servies and External Development to the residents of that colony only and if any discrepancy is noticed in this case the same will be informed to this office immediately.


**Competent Authority-cum-
Deputy Director,
Local Government, Patiala.**

Endst. No. ATP-DDLG-19/

Date

A copy of the above is forwarded to the RERA, Punjab for information and necessary action.

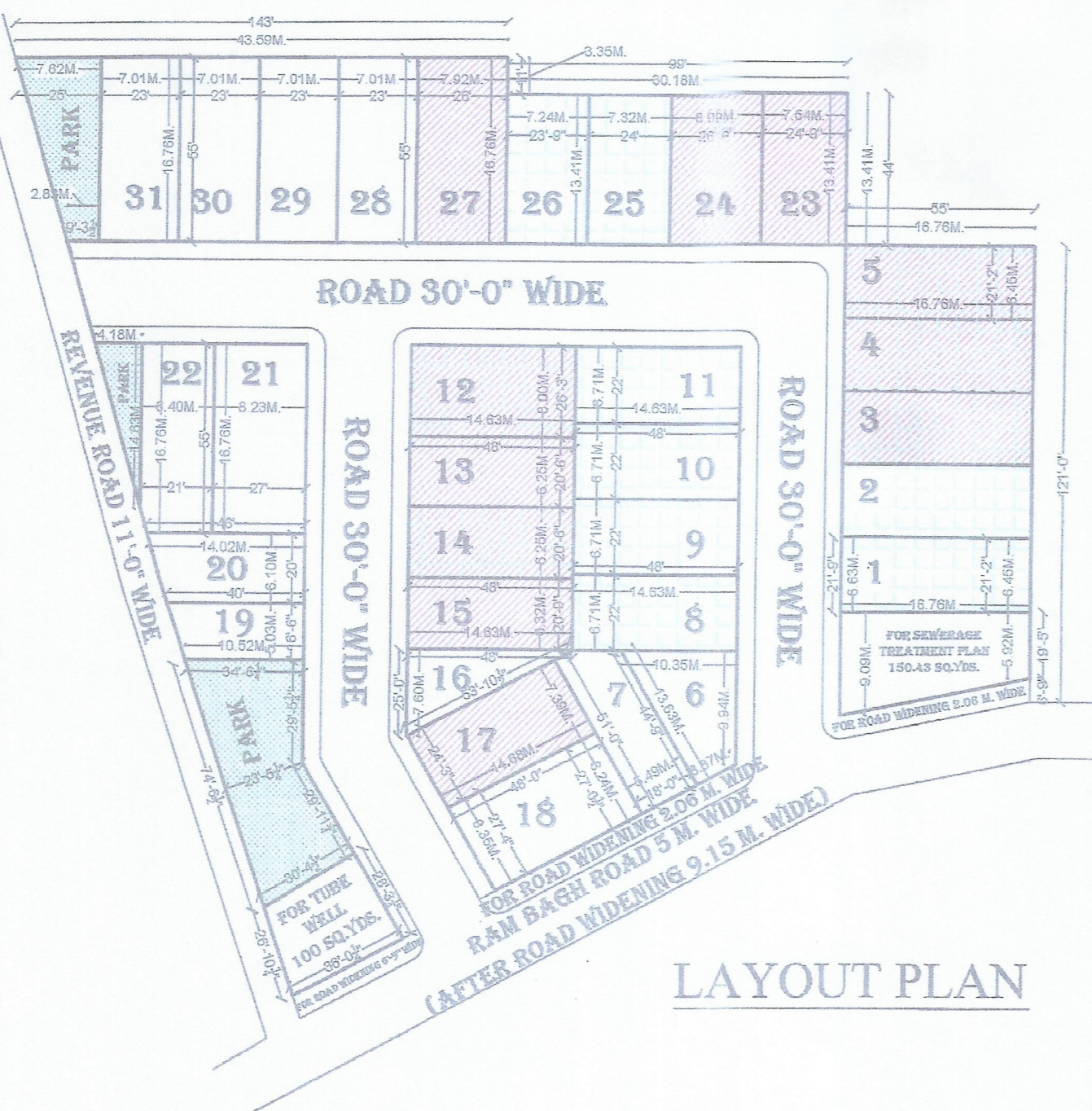
S J
**Competent Authority-cum-
Deputy Director,
Local Government, Patiala.**

Endst. No. ATP-DDLG-19/

Date

A copy of the above is forwarded to the Chief Town Planner, Local Government, Punjab, Chandigarh for information and necessary action.

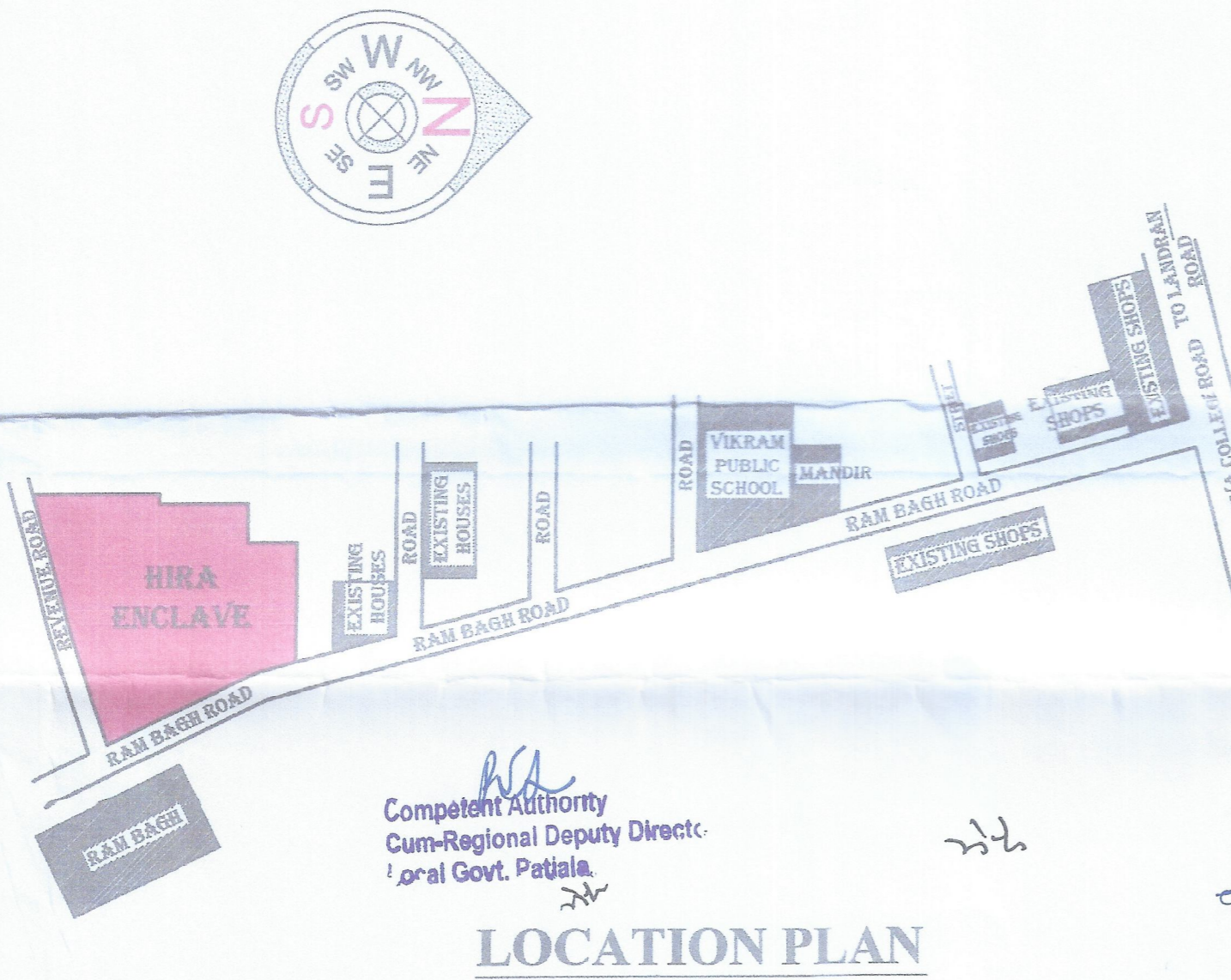
S J
**Competent Authority-cum-
Deputy Director,
Local Government, Patiala.**



LAYOUT PLAN



KHASRA PLAN

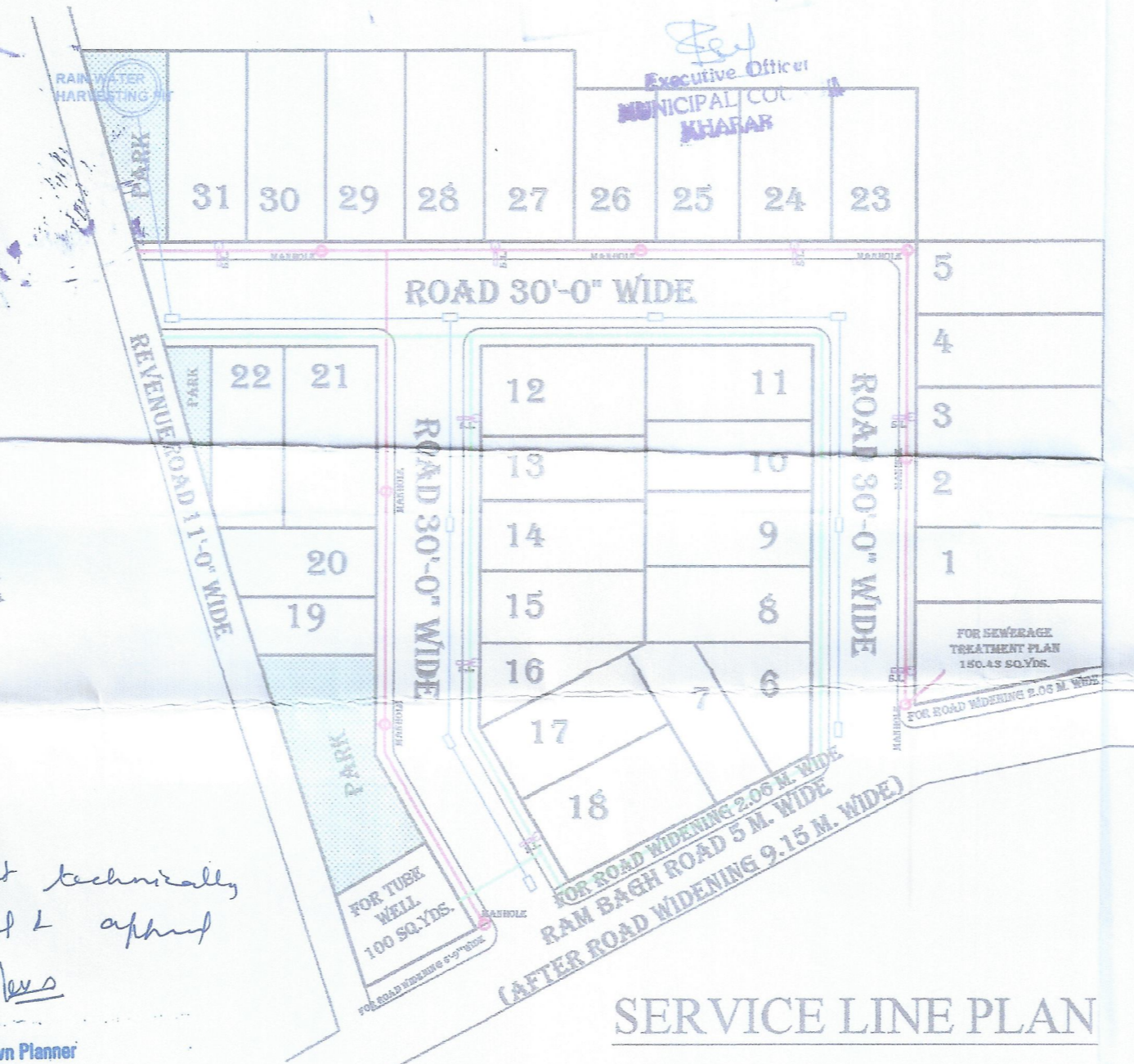


LOCATION PLAN

Competent Authority
Cum-Regional Deputy Director
Local Govt. Patiala

Layout technically
examined & approved

Senior Town Planner
Patiala Region
Department of Local Government
Punjab



SERVICE LINE PLAN

**LAYOUT PLAN FOR THE
RESIDENTIAL COLONY
"HIRA ENCLAVE" AT RAM BAGH
ROAD, KHARAR, TEH. KHARAR,
DISTT. S.A.S. NAGAR (PB)**

DETAIL OF AREA

TOTAL LAND = 53361 SQ.FT. OR 5929 SQ.YDS. (1.22 ACER) OR 4957.3 SQ.M.

AREA UNDER ROAD WIDENING = 1528.2 SQ.FT. OR 169.8 SQ.YDS. OR 141.97 SQ.M.

NET AREA AFTER ROAD WIDENING = 51832.8 SQ.FT. OR 5759.2 SQ.YDS. OR 4815.38 SQ.M.

AREA UNDER RESIDENTIAL PLOTS = 34038.09 SQ.FT. OR 3782.01 SQ.YDS. OR 3162.22 SQ.M. (65.67%)

AREA UNDER PARK = 3109 SQ.FT. OR 345.43 SQ.YDS. OR 288.83 SQ. M. (5.99%)

AREA UNDER ROAD = 12424.93 SQ.FT. OR 1380.55 SQ.YDS. OR 1154.3 SQ. M. (23.97%)

AREA UNDER S.T.P = 1353.87 SQ.FT. OR 150.43 SQ.YDS. OR 125.78 SQ. M. (2.61%)

AREA UNDER TUBEWELL = 906.91 SQ.FT. OR 100.76 SQ.YDS. OR 84.25 SQ. M. (1.75%)

AREA OF SOLD PLOTS = 12652.65 SQ.FT. OR 1405.85 SQ.YDS. OR 1175.89 SQ. M. (37.17%)

AREA OF UNSOLD PLOTS = 21385.44 SQ.FT. OR 2376.16 SQ.YDS. OR 1986.75 SQ. M. (62.83%)

NO. OF RESIDENTIAL PLOTS = 31 NOS.

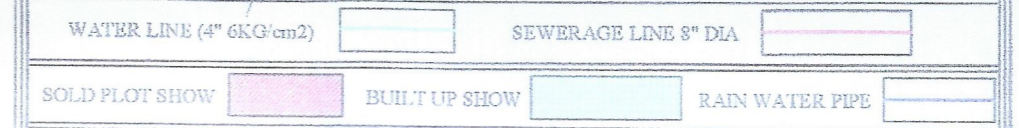
BUILT UP PLOTS = 13

SOLD PLOTS = 11 NOS.

AREA STATEMENT

PLOT NO.	NOS.	SIZE	PLOT AREA (SQ.M.)	TOTAL AREA (SQ.M.)
1	1	AS PER SITE	131.13 SQ.YD.	131.13 SQ.YD.
2-5	4	21'-2" X 55'-0"	129.35 SQ.YD.	517.41 SQ.YD.
6	1	AS PER SITE	93.04 SQ.YD.	93.04 SQ.YD.
7	1	AS PER SITE	97.98 SQ.YD.	97.98 SQ.YD.
8-11	4	22'-0" X 48'-0"	117.33 SQ.YD.	469.33 SQ.YD.
12	1	26'-3" X 48'-0"	140 SQ.YD.	140 SQ.YD.
13-14	2	20'-0" X 48'-0"	109.33 SQ.YD.	218.66 SQ.YD.
15	1	20'-9" X 48'-0"	110.66 SQ.YD.	110.66 SQ.YD.
16	1	AS PER SITE	67.33 SQ.YD.	67.33 SQ.YD.
17	1	24'-3" X 48'-0"	129.35 SQ.YD.	129.35 SQ.YD.
18	1	AS PER SITE	145.63 SQ.YD.	145.63 SQ.YD.
19	1	AS PER SITE	68.30 SQ.YD.	68.30 SQ.YD.
20	1	AS PER SITE	95.56 SQ.YD.	95.56 SQ.YD.
21	1	37'-0" X 55'-0"	165 SQ.YD.	165 SQ.YD.
22	1	AS PER SITE	127.55 SQ.YD.	127.55 SQ.YD.
23	1	24'-9" X 44'-0"	121 SQ.YD.	121 SQ.YD.
24	1	26'-6" X 44'-0"	129.55 SQ.YD.	129.55 SQ.YD.
25	1	24'-0" X 44'-0"	117.33 SQ.YD.	117.33 SQ.YD.
26	1	23'-9" X 44'-0"	116.11 SQ.YD.	116.11 SQ.YD.
27	1	26'-0" X 55'-0"	158.89 SQ.YD.	158.89 SQ.YD.
28-31	4	23'-0" X 55'-0"	140.55 SQ.YD.	562.22 SQ.YD.
TOTAL			782.01 SQ. YD.	782.01 SQ. YD.

Dy. Commr
Propd in
for the plot



OWNER

ARCHITECT

Paramjit Singh Saini
Architect & Designer
Regd. No. 250/2000, Distt. S.A.S. Nagar, Mohali
96166 30000